

**LAKE BARRINGTON COMMUNITY
HOMEOWNERS ASSOCIATION**

64 Old Barn Road
Lake Barrington, Illinois 60010
Phone: 847-382-1660
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HOMEOWNER APPLICATION FOR
ARCHITECTURAL REVIEW

DECKS AND BALCONIES

SUPPLEMENTARY INFORMATION

The Architectural Commission meets on the first Monday of each month, unless otherwise posted. Applications must be submitted to the Management Office at least one week in advance of the meeting in order to be considered. Please allow time for approval by your Condo Board as well. A schedule of all Condo Board meetings is available in the Management Office.

**DECK AND BALCONY REPAIR AND/OR REPLACEMENT
PROCEDURES AND STANDARDS**

CHECKLIST

This following checklist will help ensure that you have provided all the pertinent information before starting your project.

- ___ **Existing area:** provide drawing (plan view / bird's-eye view) and elevation drawing_(side views). On elevation drawing, indicate left, right and front-facing.
- ___ **Proposed area:** Provide drawing and elevation drawing of completed project.
- ___ On drawings, show direction of "NORTH" with an arrow.
- ___ All drawings are to provide dimensions.
- ___ Show location and dimension of support posts and their spacing.
- ___ Show location and dimension of concrete piers. Piers must be no higher than 6" above ground.
- ___ Indicate that you are using treated wood for support posts and other structural wood members.
- ___ Indicate what type of material will be used for surface balcony or deck.
- ___ Indicate dimensions of structural members, posts, joists, decking and railings (i.e., 2 x 4, 2 x 8, etc.).
- ___ Square-head wood deck screws with enamelized coating are required.
- ___ Indicate how deck / balcony will be attached to building, if applicable.
- ___ Show location and spacing of support joists.
- ___ Railings must be a minimum of 42" high.
- ___ Railing spindle spacing must be 4" or less between spindles.
- ___ If there are stairs, include riser height, tread dimensions and support.
- ___ Indicate what color stain will be used on wood.

PRELUDE

Decks and balconies are defined as “limited common elements” in each condominium’s documents. Maintenance of these structures is the responsibility of the unit owner. Both the individual condominium association and the Village of Lake Barrington have legitimate, though different, interests relating to the care of limited common elements. Approval from both of these entities is required before any repair, replacement and/or modification to these structures takes place. Approval is contingent on certain standards being met.

The Village standards concern themselves primarily with the safety and structural integrity of the balcony or deck. For the convenience of the unit owner, the LBS Architectural Commission has created this Procedures and Standards document, setting forth its’ understanding of the Village requirements for issuing building permits for balconies and decks. Village requirements may change from time to time and it is always necessary for the unit owner to check with the Village for changes to these requirements before proceeding with any request for a building permit.

While each Condo has a natural concern for the safety of their residents and guests, its’ commissions and boards consist of volunteer members who, at any point in time, may lack the necessary expertise to properly address safety concerns. Therefore these standards are not meant to address issues of safety. Proper construction is left to the expertise of the Village and the contractors involved in the work.

These procedures and standards address areas of interest to the individual condominium board, its’ maintenance of property values, aesthetics, a tranquil environment and harmony among unit owners. Some of the standards are designed to promote a uniform look as a part of the aesthetic blueprint for LBS. Other standards address the materials to be used to upgrade quality, while others are directed to assure durability and longevity and thus curtail the need for future repetitive and expensive construction activities. Compliance with standards is required to obtain a positive review for a unit owner application from the Architectural Commission. Approval of the application rests with the individual Condo board.

The process steps for the homeowner are:

1. Architectural Drawings
2. Contractor Proposal
3. Architectural Commission review of Application
4. Condo Board approval of Application
5. Building Permit
6. Completion of Work
7. Village Inspection of Work

If you have any questions regarding these standards or procedures, please contact your Condo’s Architectural Commission representative. *(A special thanks to John Rader, former Chairman of the Architecture Commission for clarifying these Procedures and Standards).*

I. UNIT OWNER'S APPLICATION PROCESS

(In the following Application Process and Procedures, LBS requirements have been integrated with Village of Lake Barrington requirements to the greatest extent possible to avoid unnecessary duplication).

A. A copy of this document is to be presented to the entity chosen to produce the drawings called for herein. This will insure that standards are incorporated in the design drawings, considered in the cost of repair/replacement and adhered to in services provided by the contractor. Any emergency stabilization work considered prudent prior to completion of the process herein must be previously approved by the unit owner's Condo Board. Completion of emergency stabilization work does not circumvent the need of a unit owner to complete the process sequence of these procedures and standards.

B. Prior to repair or replacement of any structural element, defined herein as piers, foundations, posts, floor or rim joists, complete deck surface, railings, multiple stair steps or fastening systems, unit owner is required to complete the process sequence outlined below. For example, replacement of 1 or 2 deck boards with like kind and sized materials may be considered a repair and exempt from this process. In the event that only a few deck boards are proposed for replacement, it is the homeowner's responsibility to insure that there is no damage to the structural components.

C. Engage a licensed architect or structural engineer to produce detailed drawings, in plan and elevation views, showing, among other specifications called for in this document, the perimeter dimensions of the existing and replacement balcony or deck and its relation to the structure to which it is attached, on all contiguous sides. Hand sketches by owner are not acceptable. Photographs are welcome but are not acceptable substitutes for architectural drawings.

D. Each copy of every drawing must clearly bear the unexpired license-stamp and signature of a licensed architect or structural engineer.

E. Drawings must contain specific information addressing all items listed in the *Balcony/Deck Standards* that follow in Sections III and IV attached hereto.

F. The unit owner's name, complete address and unit number where the work is to be performed must be included. Absent owners must also include their name, complete residential address and daytime telephone numbers on all copies of the drawings.

G. Cantilevered balconies may be replaced by alternate reconstruction and fastening methods other than cantilevering but may not use posts or angle braces as substitute support elements when these elements encroach on the space of a unit of other ownership without the express written permission of the other unit owner and the written approval of the involved Condo Board. Copies of both must be attached to each copy of the architectural drawings submitted for approval.

H. All railings and stair handrails must be reconfigured to meet Building Code and Standards

requirements set forth herein in Sections III & IV, when repair is undertaken to any structural component of the deck or balcony regardless of how minor the repair may be (see attached railing drawing for design and attachment details).

II. UNIT OWNER'S PROCEDURAL SEQUENCE

- A. Owner shall obtain 6 copies of drawings, each bearing the required stamp as called for in paragraph *D.* above. Drawings must be submitted on 11" x 17" paper or smaller to facilitate making additional copies for the Architectural Commission representatives.
- B. The first copy shall first be submitted to the Architectural Commission. The drawing will be checked making certain that items called for in these standards are addressed and in compliance with items called for in Sections III and IV.
- C. The second copy, subject to prior recommendation by the Architectural Commission, is then submitted to the unit owner's Condo Board for subsequent approval.
- D. Upon Architectural Commission recommendation and Condo Board approval, the third and fourth copies must be submitted to the Village of Lake Barrington Building Department and used in the process of obtaining a Building Permit. A building permit must be obtained prior to commencement of any construction. A Building Permit will not be issued prior to approval from the Condo Board. ***(A copy of the Village of Lake Barrington Application & Permit Form is available in the Management Office).***
- E. Copy number five will be used by the contractor performing the work. Village inspection of the work will be performed to assure compliance with the architectural drawings and specifications originally submitted and approved.
- F. Building permit must be conspicuously posted during all phases of construction. Work performed without a Building Permit is subject to stoppage and dismantling at **UNIT OWNER'S EXPENSE** and subject to fines by the Village and owner's Condo Board.
- G. The sixth copy of the drawing and a copy of the Building Permit will be retained in the building file at the LBS Management office.

III. DRAWING DETAILS REQUIRED

THE FOLLOWING INFORMATION MUST APPEAR ON ALL DRAWINGS

- A. Material specifications or descriptions, *i.e.*, size, type and location of all structural elements and connections must be included. These specifications may not be left to the choice or discretion of the contractor.
- B. Detailed foundation and drawings for all support elements must be shown in dimensioned detail.

- C. Flashing Systems and membrane waterproofing methods where called for.
- D. Drawings must address all items listed in Section IV., RECOMMENDED STANDARDS.

IV. RECOMMENDED STANDARDS

The following standards apply for all materials used in deck and balcony replacement and/or repair.

Wood or Synthetic Materials

- Structural wood members must be pressure treated pine or equivalent. Decking may be synthetic, pressure treated pine or cedar wood.
- When synthetic decking is specified, the type and brand name must be identified and the specifications for same listed on the drawings.

Decking

- Decking made of cedar or synthetic, maintenance free material must be of a color compatible with existing building color or capable of accepting deck stain of a matching color.
- Decking will be prime stained using only *Decking Stain* on six sides prior to placement. Siding stain should not be used. Cedar deck surfaces must be stained again after installation. Staining of treated wood should be delayed for six months until weathered or aged. Staining should not be delayed beyond 12 months.
- Deck surfaces may not abut or touch siding. Decking must extend under siding and siding must be a minimum of 1" above top deck surface. Decks abutting buildings must be flashed up the wall a minimum of 8" behind horizontal siding and 12" up the wall behind vertical siding and wind barrier.

Flashing

- All flashing is to be 16 oz. copper or anodized aluminum.
- Prior to decking, all cantilevered joists extending into building to be Saw-kerf flashed to building. Caulking is not acceptable as a substitute for flashing or seam welding.

Caulking

Urethane caulk is the only caulk acceptable. The use of Acrylic or silicone caulks is not permitted.

Ledger Boards

- Ledger Boards shall be lag screwed or bolted directly to building structure and may not be placed over siding.
- Ledger Boards shall be flashed to building prior to placement of decking and decking must run under siding and wind barrier.

Waterproofing

- Waterproof membrane must flash a minimum of 8" up adjacent walls, under siding and wind barrier and must be folded into corners.
- Balconies that are located above a patio, balcony or deck of another unit, may be equipped with a waterproof covering, at the discretion of the individual condominium association, over exterior grade 3/4" plywood decking. Membrane should be of a seamed type material such as *Ice Shield* or equivalent with sealed or welded seams. Underside of balcony can be covered with 1/4" treated plywood at the discretion of each condo association.
- Wood decking surfaces placed on waterproofed decks, must be of the floating type with no fasteners protruding to penetrate or damage waterproof membrane. Decking must be constructed with sleepers perpendicular to balcony entry door for proper water drainage. A pitch of 1/4" away from the building is recommended.

Fencing

Fences or fence posts should not be fastened to or used to support any portion of any deck or patio deck. Fence posts should not be classified as structural support elements for supporting any structure other than the fence.

Railings

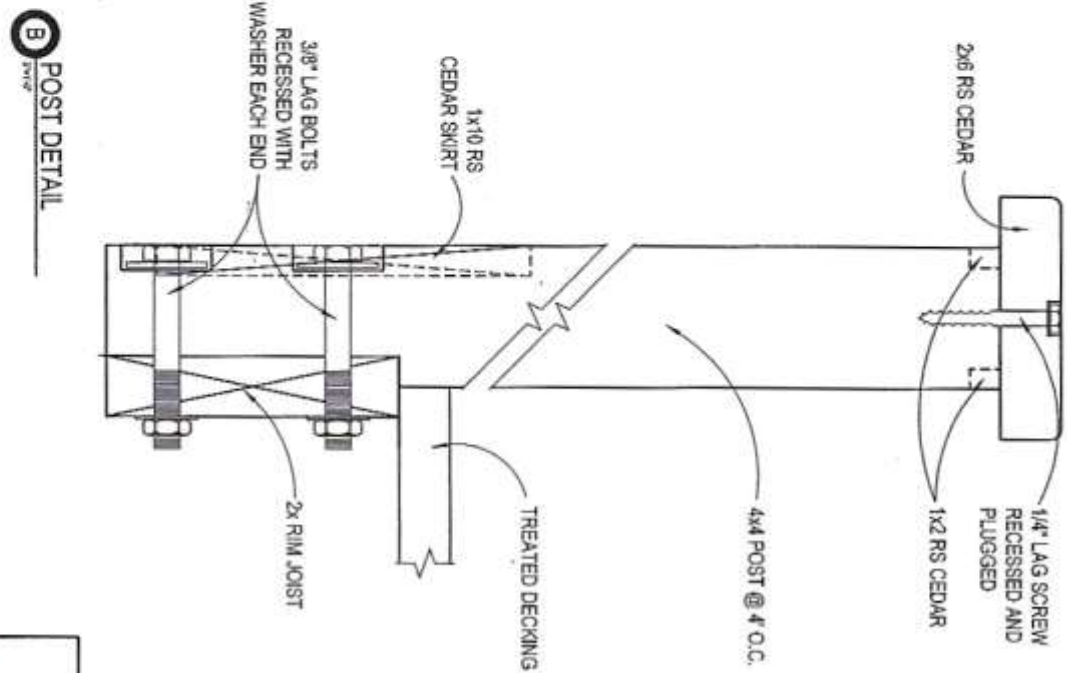
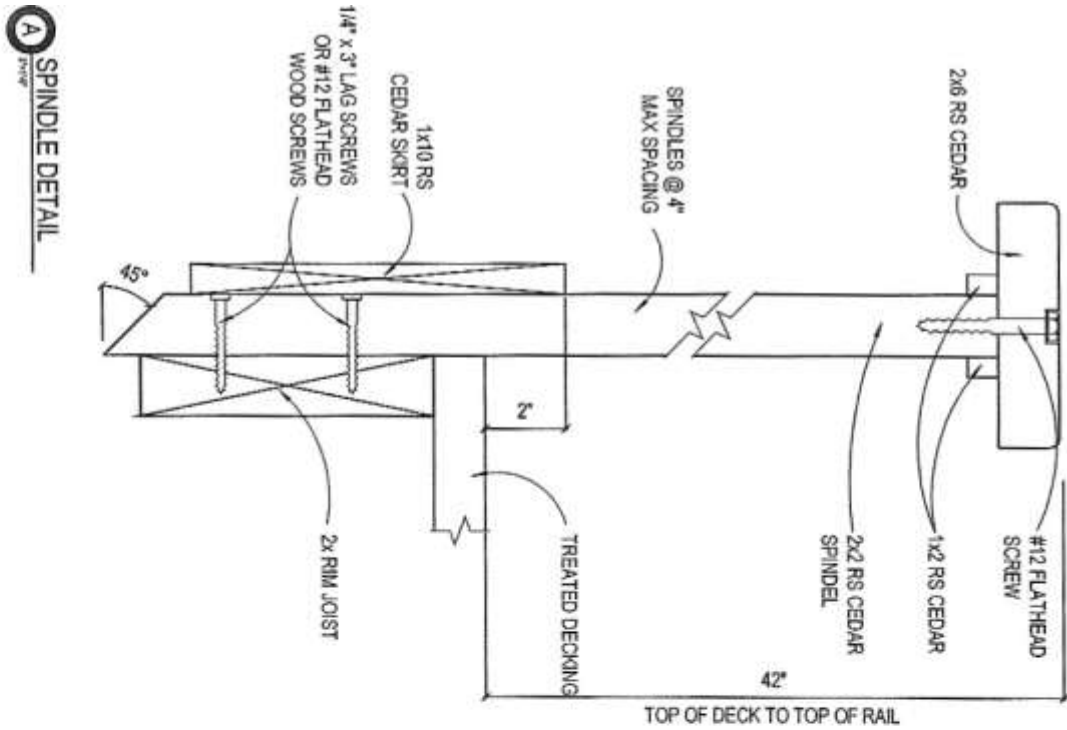
- Railings must be constructed *per the attached drawing* for uniformity and appearance.
- Railings and posts must be rough sawn cedar and stained the color of the building.

Fasteners

All framing and decking shall be fastened with stainless steel, black phosphorous coated steel or hot galvanized steel screws.

Insulation

Spaces between joists shall be insulated at wall line with minimum of 8" thick fiberglass insulation and spaces between joists blocked to the exterior of the insulation at wall line.



Balcony Handrail Attachment Details

LAKE BARRINGTON SHORES BALCONY
 LAKE BARRINGTON, ILLINOIS
 BALCONY HANDRAIL ATTACHMENT DETAILS

Drawn By JFR	Checked By
Scale	Date 3-8-05
Job No.	
Sheet No.	DET-1